

Z2021-10700261 CD

**CHICAGO TITLE GF#** UBD08210 UOALCR

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**WARRANTY DEED**

**Date:** August 13, 2021

**Grantor:** Joe Lewis Casiano a/k/a Jose Lewis Casiano

**Grantor's Mailing Address:**

503 Red Quill Nest, San Antonio, TX 78253

**Grantee:** Investments Robles, LLC

**Grantee's Mailing Address:**

1302 Cupples Rd., San Antonio, TX 78226

**Consideration:** TEN AND NO/100 DOLLARS and other good and valuable consideration.

**Property (including any improvements):**

**Lots 3 and 4, Block 10, New City Block 8965, DIVISION GARDENS ADDITION NO. 2, City of San Antonio, Bexar County, Texas, according to the map or plat thereof, recorded in Volume 1625, Page 204, Deed and and Plat Records of Bexar County, Texas.**

**Reservations From and Exceptions to Conveyance and Warranty:** This conveyance, however, is made and accepted subject to the following matters, to the extent same are in effect at this time: any and all restrictions, covenants, assessments, reservations, outstanding mineral interests held by third parties, conditions, and easements, if any, relating to the hereinabove described property, but only to the extent they are still in effect and shown of record in the hereinabove mentioned County and State or to the extent that they are apparent upon reasonable inspection of the property; and to all zoning laws, regulations and ordinances of municipal and/or other governmental authorities, if any, but only to the extent they are still in effect and relating to the hereinabove described property. Ad valorem taxes on said property for the current year, having been prorated, the payment thereof is assumed by Grantee.

The Contract between Grantor as the Seller and Grantee as the Buyer, if any, may contain limitations as to warranty or other agreed matters; to the extent that the Contract provides for any such limitations or other agreed matters to survive the closing and this conveyance, then such limitations or other agreed matters are hereby deemed incorporated by reference. The warranty of title contained in this Deed is hereby expressly excluded from the limitations or other agreed matters referenced in this paragraph.



**File Information**

**eFILED IN THE OFFICIAL PUBLIC eRECORDS OF BEXAR COUNTY  
LUCY ADAME-CLARK, BEXAR COUNTY CLERK**

**Document Number:** 20210226000

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Any provision herein which restricts the sale or use of the described real property because of race is invalid and unenforceable under Federal law

STATE OF TEXAS, COUNTY OF BEXAR

I hereby Certify that this instrument was eFILED in File Number Sequence on this date and at the time stamped hereon by me and was duly eRECORDED in the Official Public Record of Bexar County, Texas on:  
8/16/2021 4:42 PM



*Lucy Adame-Clark*  
Lucy Adame-Clark  
Bexar County Clerk

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**SPECIAL WARRANTY DEED**

STATE OF TEXAS           §  
  §                   KNOW ALL PERSONS BY THESE PRESENTS:  
COUNTY OF BEXAR       §

That **JOSE LUIS GONZALEZ AS TRUSTEE OF THE JOSE LUIS GONZALEZ LIVING TRUST**, (“Grantor”), for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has **GRANTED, SOLD, and CONVEYED**, and by these presents does **GRANT, SELL, and CONVEY** unto **BRIGHTON 719, LLC**, a Texas Limited liability company (“Grantee”), all of the following-described real property situated in Bexar County, Texas, to-wit:

0.478 Acres (20,832 square feet) of land consisting of 104 square feet out of Lot 1, 0.105 Acres out of Lot 2, Lot 10, Lot 11, and 0.083 Acres out of Lot 12, Block 10, New City Block 8965, DIVISION GARDENS NO. 2 situated in the City of San Antonio, Bexar County, Texas, as recorded in Volume 1625, Page 204 of the Deed and Plat Records of Bexar County, Texas and more particularly described as follows:

COMMENCING at a found TxDOT Monument at the South right-of-way of Keats Avenue and the Southeast right-of-way of Interstate Highway 35 South (U.S. Highway 81 South);

THENCE: S 85° 54’ 02” E, a distance of 16.66 feet to a fence post for a corner of this tract;

THENCE: S 04° 05’ 02” W, a distance of 125.00 feet to a fence post for a corner of this tract;

THENCE: S 85° 54’ 02” E, a distance of 50.00 feet to a fence post for a corner of this tract;

THENCE: S 04° 05’ 58” W, a distance of 125.00 feet to a found ½” iron pin to the North right-of-way of Brighton Avenue for a corner of this tract;

THENCE: Along the North right-of-way of Brighton Avenue, N 85° 54’ 02” W, a distance of 150.00 feet to a found TxDOT Monument on the Southeast right-of-

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way of Interstate Highway 35 South (U.S. Highway 81 South) and the North right-of-way of Brighton Avenue, for a corner of this tract;

THENCE: Along the Southeast right-of-way of Interstate Highway 35 South (U.S. Highway 81 South), N 22° 32' 09" E, a distance of 263.53 feet to the POINT OF BEGINNING and containing 0.478 acres of land, together with all improvements located thereon (the "Property").

This conveyance is made and accepted subject to all validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing instruments, other than conveyances of the surface fee estate, that affect the Property; validly existing rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; and any encroachments or overlapping of improvements (collectively, the "Permitted Exceptions"). The Permitted Exceptions do not constitute an acknowledgment of the existence or viability of any of the foregoing, nor a ratification, adoption or revivor of any expired or terminated interest.

The Property is conveyed **AS IS, WITH ALL FAULTS** and without warranty, except the limited warranty of title contained herein.

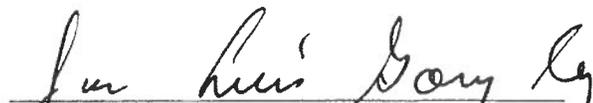
**TO HAVE AND TO HOLD**, subject to the Permitted Exceptions, the Property, together with all and singular the rights and appurtenances thereto in anywise belonging, unto Grantee, Grantee's successors and assigns forever; and Grantor does hereby bind Grantor and Grantor's successors and assigns, to **WARRANT AND FOREVER DEFEND**, all and singular, the Property unto Grantee, Grantee's successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof by, through or under Grantor, but not otherwise, subject to the Permitted Exceptions.

When the context requires, singular nouns and pronouns include the plural.

No responsibility for the validity of real estate title is assumed by the attorneys preparing this deed unless a written title opinion is rendered.

EXECUTED this 18 day of December, 2020.

GRANTOR:

  
JOSE LUIS GONZALEZ, TRUSTEE OF THE JOSE  
LUIS GONZALEZ LIVING TRUST

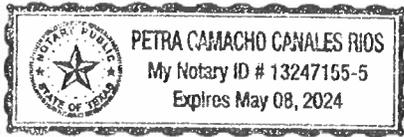
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**Grantee's Address:**  
BRIGHTON 719, LLC  
26311 Jason Ave.  
San Antonio, Texas 78255

**GRANTOR'S ACKNOWLEDGMENT**

STATE OF TEXAS                   §  
   §  
COUNTY OF BEXAR               §

This instrument was acknowledged before me on the 18 day of December, 2020, by Jose Luis Gonzalez as Trustee of the Jose Luis Gonzalez Living Trust.



*Petra Camacho Canales Rios*  
\_\_\_\_\_  
Notary Public, State of Texas

**PREPARED IN THE LAW OFFICE OF:**  
DUNCAN, BRESSLER & WILLIAMSON, INC.  
1020 N.E. Loop 410, Suite 500  
San Antonio, TX 78209-1224  
Telephone: (210) 224-0781  
Fax: (210) 224-6958

**AFTER RECORDING RETURN TO:**  
Matthew K. Williamson  
DUNCAN, BRESSLER & WILLIAMSON, INC.  
1020 N.E. Loop 410, Suite 500  
San Antonio, TX 78209-1224

**File Information**

**eFILED IN THE OFFICIAL PUBLIC eRECORDS OF BEXAR COUNTY  
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STATE OF TEXAS, COUNTY OF BEXAR

I hereby Certify that this instrument was eFILED in File Number Sequence on this date and at the time stamped hereon by me and was duly eRECORDED in the Official Public Record of Bexar County, Texas on: 12/18/2020 3:14 PM



*Lucy Adame-Clark*  
Lucy Adame-Clark  
Bexar County Clerk